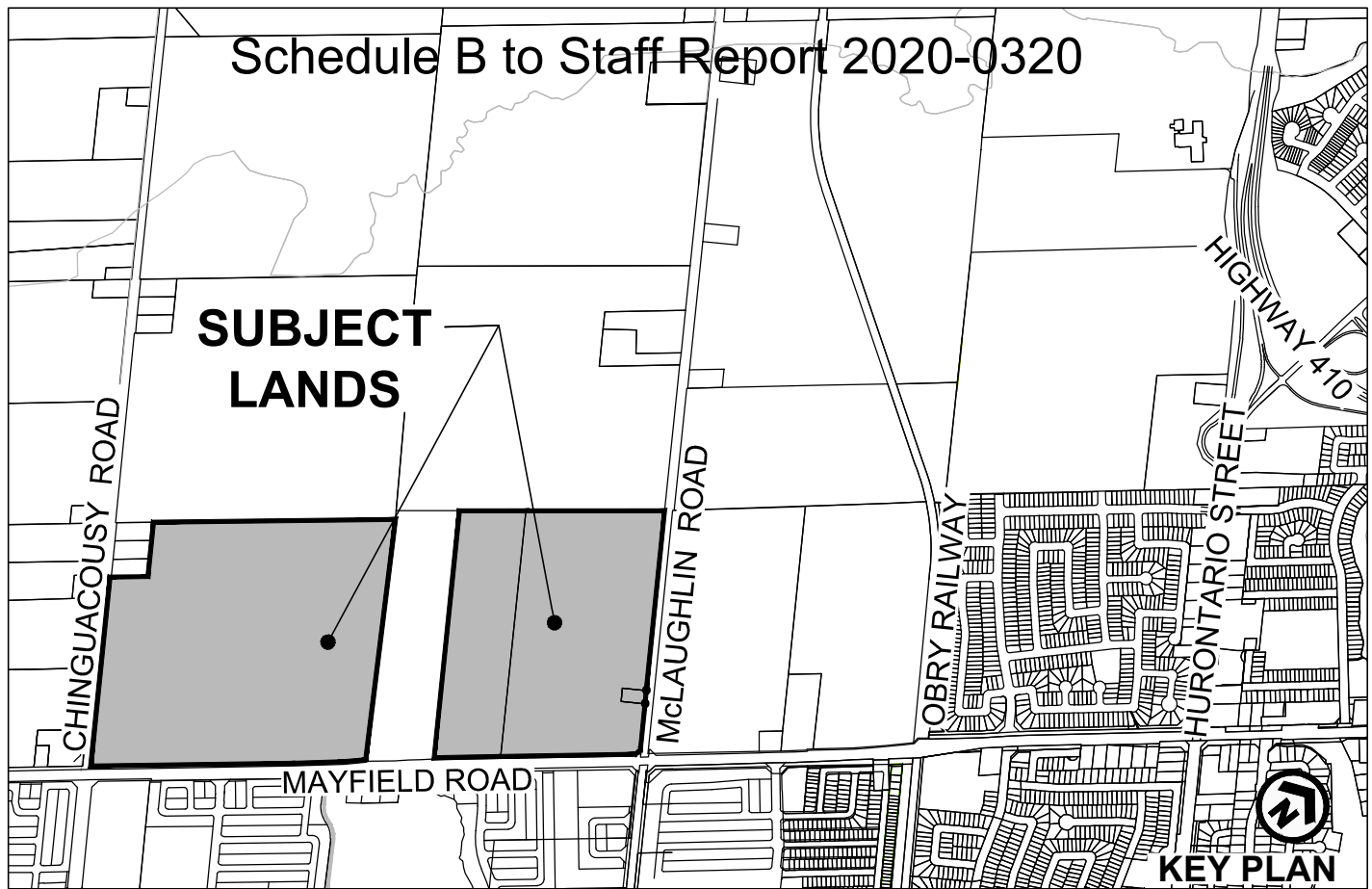
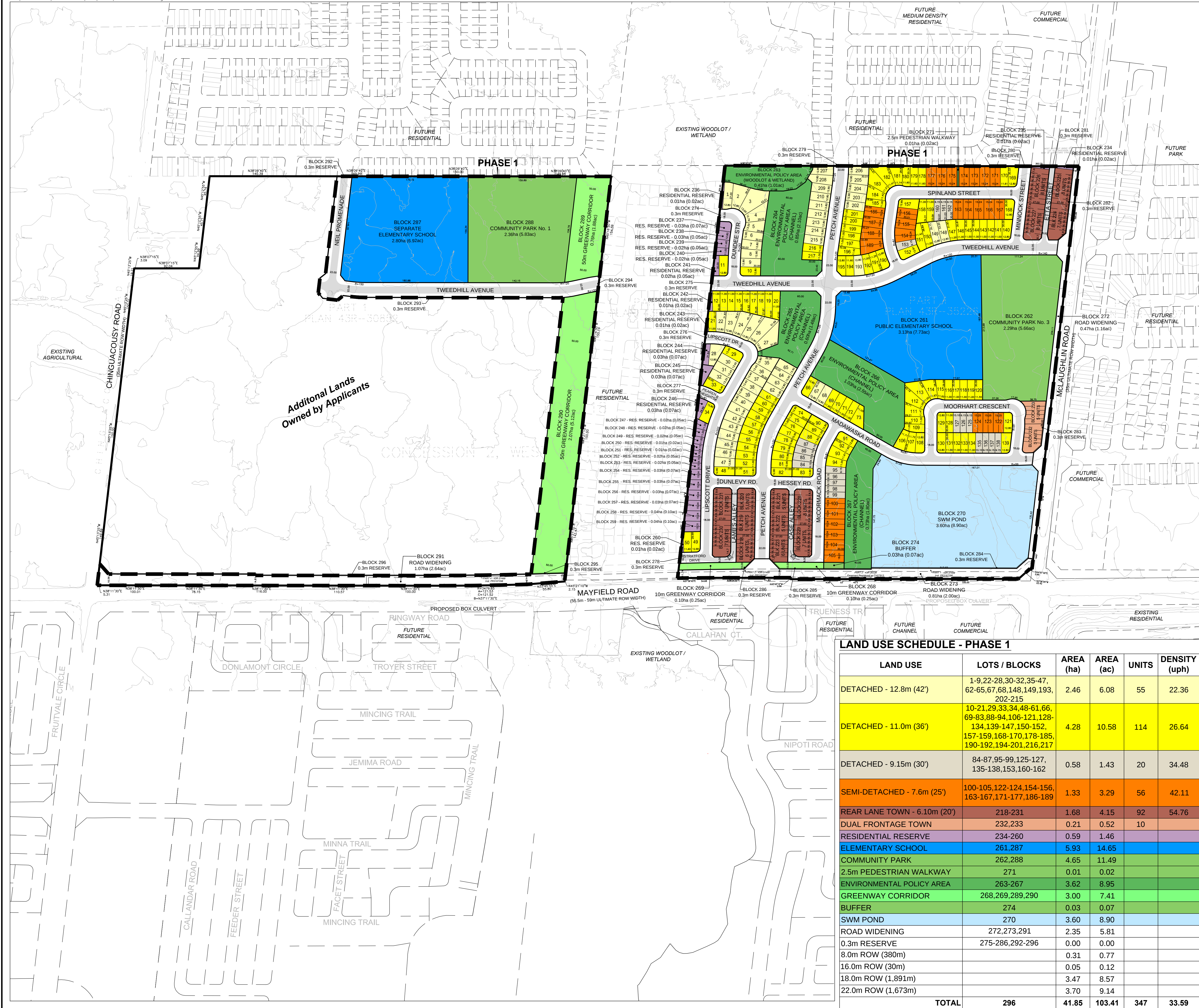




DRAFT PLAN OF SUBDIVISION
FILE # 21T-16006C
CALEDON WEST 25 INC.,
MAYFIELD McLAUGHLIN DEVELOPMENTS INC.,
MAYFIELD STATION DEVELOPMENTS INC.
MAYFIELD WEST PHASE 2
PART OF LOT 18
CONCESSION 2, W.H.S. (CHING),
TOWN OF CALEDON
REGIONAL MUNICIPALITY OF PEEL

OWNERS CERTIFICATE

I HEREBY AUTHORIZE GLEN SCHNARR & ASSOCIATES INC. TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE TOWN OF CALEDON FOR APPROVAL.

SIGNED 

MR. STEVEN SILVERBERG, A.S.O.
CALEDON WEST 25 INC.,
MAYFIELD McLAUGHLIN DEVELOPMENTS INC.
MAYFIELD STATION DEVELOPMENTS INC.

DATE: September 28, 2016

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AS SHOWN ON THIS PLAN AND THEIR RELATIONSHIP TO ADJACENT LANDS ARE CORRECTLY AND ACCURATELY SHOWN.

SIGNED 

ROSS DENBROEDER, O.L.S.
RADY-PENTEK & EDWARDS SURVEYING LTD.
643 CHRISLEA ROAD, SUITE 7
WOODBIDGE ON, L4L 8A3
PHONE: (416) 635-5000

DATE: September 7, 2017

ADDITIONAL INFORMATION

(UNDER SECTION 51(17) OF THE PLANNING ACT) INFORMATION REQUIRED BY CLAUSES A,B,C,D,E,F,G, & J ARE SHOWN ON THE DRAFT AND KEY PLANS.

- H) MUNICIPAL AND PIPED WATER TO BE PROVIDED
I) SANDY LOAM AND CLAY LOAM
K) SANITARY AND STORM SEWERS TO BE PROVIDED

NOTES

- STREET 'A' / McLAUGHLIN - MAYFIELD ROAD DAYLIGHT TRIANGLES = 15m x 15m
- STREETS 'B' & 'I' - McLAUGHLIN DAYLIGHT TRIANGLES = 10m x 10m
- COLLECTOR - COLLECTOR DAYLIGHT TRIANGLES = 7.5m x 7.5m
- LOCAL - COLLECTOR DAYLIGHT ROUNDINGS = 5m RADIUS
- LANEWAY - LOCAL / COLLECTOR DAYLIGHT TRIANGLES = 3.0m x 3.0m
- PAVEMENT ILLUSTRATION IS DIAGRAMMATIC
- MAYFIELD ROAD WIDENING INFORMATION OBTAINED FROM RP-E SURVEYING

REVISIONS

1. AUGUST 9, 2016 - ORIGINAL SUBMISSION
2. AUGUST 10, 2017 - GENERAL REVISIONS
3. OCTOBER 23, 2017 - GENERAL REVISIONS
4. JANUARY 12, 2018 - GENERAL REVISIONS
5. JULY 4, 2018 - LOT MIX, ROW RADII & DAYLIGHT TRIANGLE REVISIONS
6. AUGUST 16, 2018 - LOT MIX REVISIONS, 0.3m RESERVE ADDITIONS
7. OCTOBER 1, 2018 - STREET NAMES ADDED, WALKWAY ADDED
8. DECEMBER 13, 2018 - STREET NAME REVISIONS
9. JANUARY 9, 2019 - STREET NAME REVISIONS
10. MARCH 13, 2019 - STREET NAME REVISIONS, BLOCK 232 MODIFIED
11. APRIL 23, 2019 - UPDATE AS PER M-PLAN



Scale 1:2500
(24 x 36)
April 23, 2019



LAND USE SCHEDULE - PHASE 1

LAND USE	LOTS / BLOCKS	AREA (ha)	AREA (ac)	UNITS	DENSITY (uph)
DETACHED - 12.8m (42')	1-9,22-28,30-32,35-47, 62-65,67,68,148,149,193, 202-215	2.46	6.08	55	22.36
DETACHED - 11.0m (36')	10-21,29,33,34,48-61,66, 69-83,88-94,106-121,128- 134,139-147,150-152, 157-159,168-170,178-185, 190-192,194-201,216,217	4.28	10.58	114	26.64
DETACHED - 9.15m (30')	84-87,95-99,125-127, 135-138,153,160-162	0.58	1.43	20	34.48
SEMI-DETACHED - 7.6m (25')	100-105,122-124,154-156, 163-167,171-177,186-189	1.33	3.29	56	42.11
REAR LANE TOWN - 6.10m (20')	218-231	1.68	4.15	92	54.76
DUAL FRONTAGE TOWN	232,233	0.21	0.52	10	
RESIDENTIAL RESERVE	234-260	0.59	1.46		
ELEMENTARY SCHOOL	261,287	5.93	14.65		
COMMUNITY PARK	262,288	4.65	11.49		
2.5m PEDESTRIAN WALKWAY	271	0.01	0.02		
ENVIRONMENTAL POLICY AREA	263-267	3.62	8.95		
GREENWAY CORRIDOR	268,269,289,290	3.00	7.41		
BUFFER	274	0.03	0.07		
SWM POND	270	3.60	8.90		
ROAD WIDENING	272,273,291	2.35	5.81		
0.3m RESERVE	275-286,292-296	0.00	0.00		
8.0m ROW (380m)		0.31	0.77		
16.0m ROW (30m)		0.05	0.12		
18.0m ROW (1,891m)		3.47	8.57		
22.0m ROW (1,673m)		3.70	9.14		
TOTAL	296	41.85	103.41	347	33.59