



PUBLIC MEETING

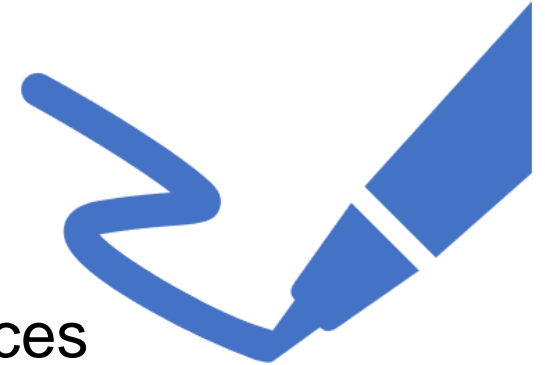
Zoning By-law Amendments

RZ 2024-0004 – RZ 2024- 0015 inclusive

April 25, 2024

Considerations- Housing Supply

- Ontario 2031 housing targets
- Caledon's Housing Pledge
- Region of Peel transition of certain services
- Caledon fiscal analysis “keeping the lights on”
- Town's housing performance 2023
- Not all lands “enabled” for development proceed to development
- Pre-zoning – some certainty for growth planning
- Timely alignment with new Official Plan

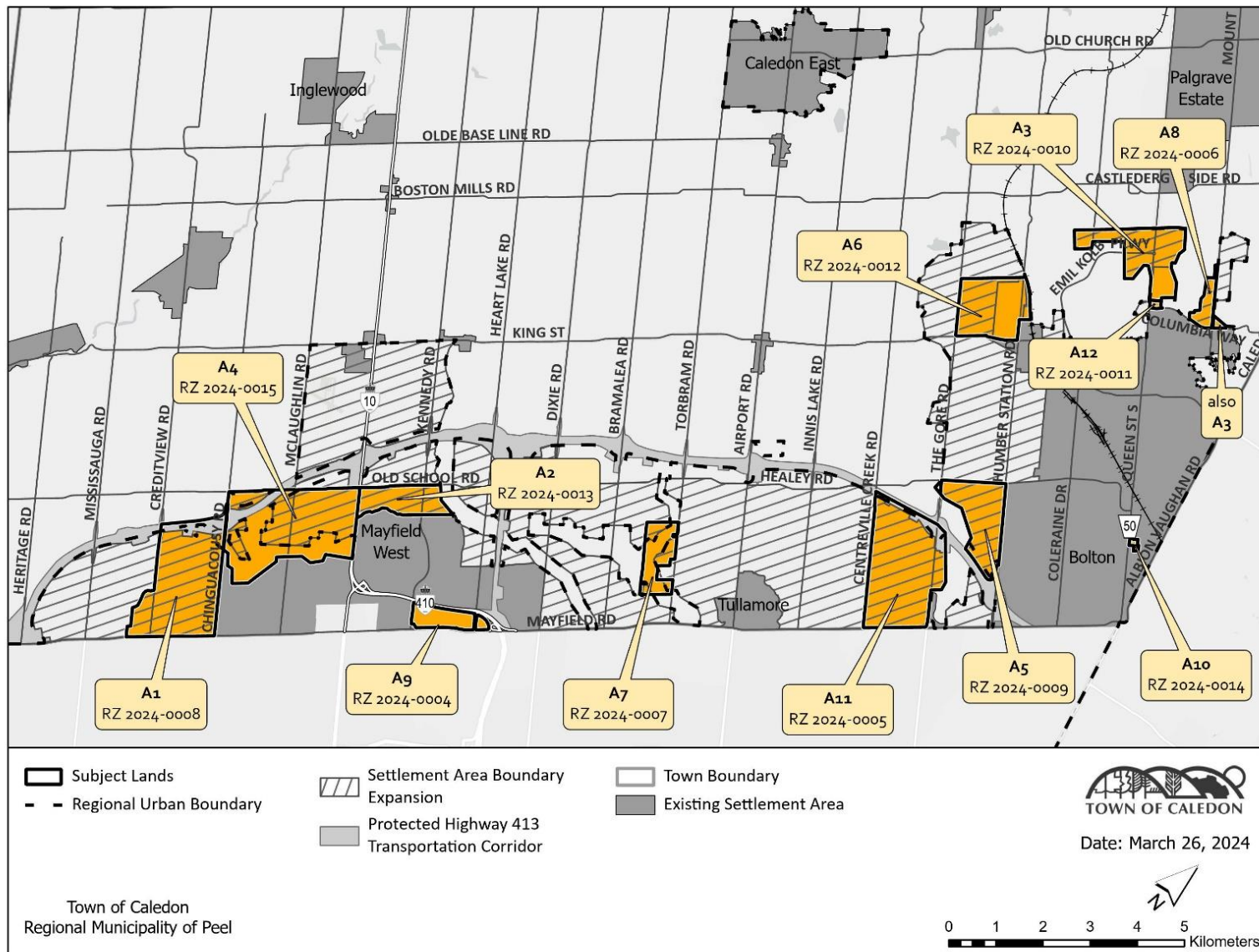


Direction from the Mayor

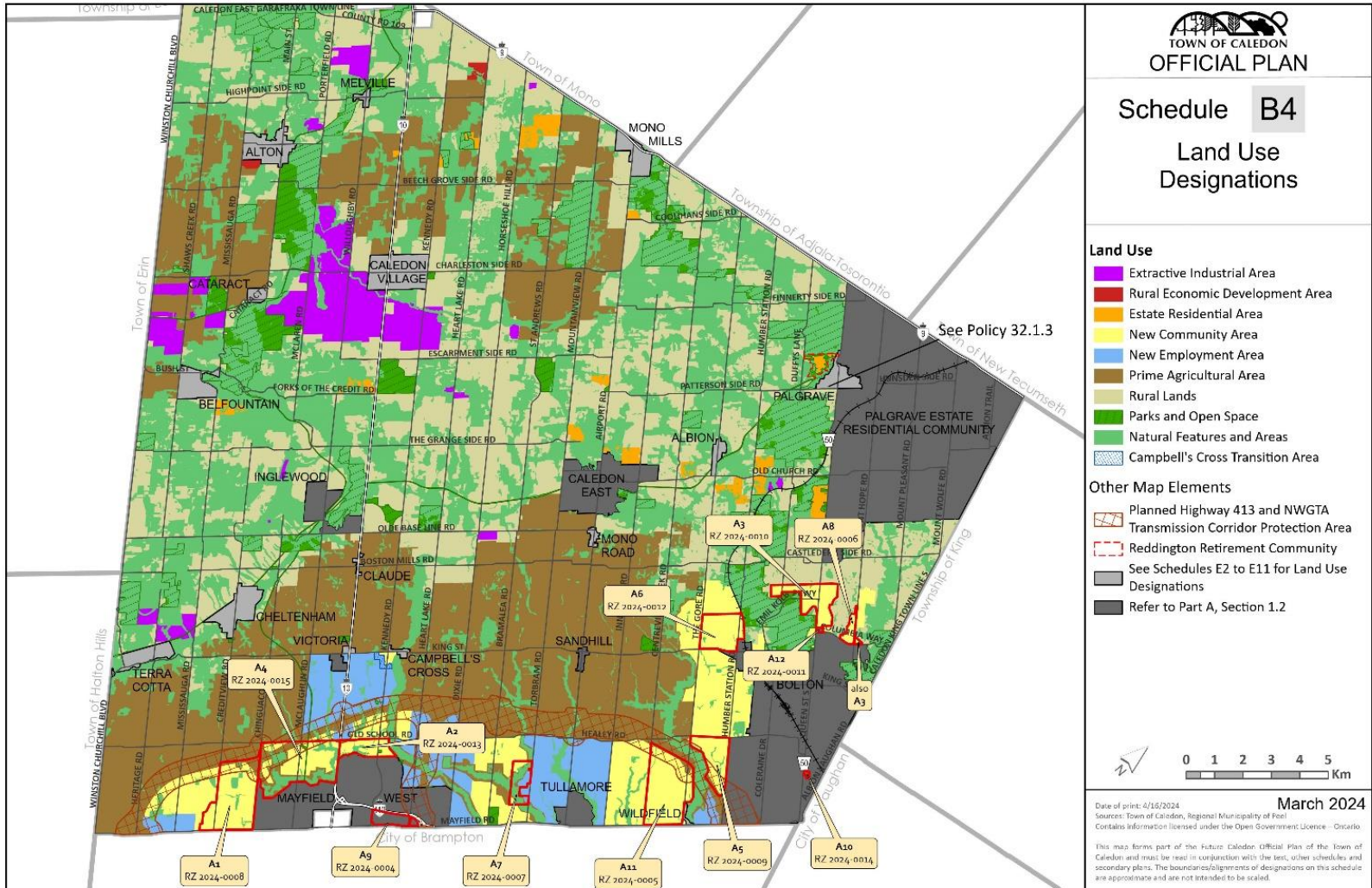
- Proposed By-laws reflect direction from the Mayor under the *Municipal Act* to initiate Zoning By-law Amendments for lands in the Regional Urban Boundary which are designated for development in the Town's new Official Plan.
- The Amendments will zone the lands to permit residential mixed use development to advance the Provincial Housing Priority to build 1.5 million new residential units and to meet Caledon's Housing Pledge by 2031.



Location of the Lands



New Official Plan Designations



General Zoning Approach

- The Town's new Official Plan provides detailed policy direction with respect to the development of new community areas. Its Vision is to create a sustainable, healthy, connected and complete community with a thriving local economy.
- The Official Plan is implemented through a number of tools, all of which must conform to the Plan. This includes zoning, but also plans of subdivision and site plan approval, as well as secondary plans. The proposed zoning conforms with the adopted Official Plan policies and designations.
- The zoning of the Subject Lands, all of which are subject to development applications and are serviceable, is an important step in the implementation of the new Official Plan and ensuring that the Town meets its housing pledge.

General Zoning Approach

- The Zoning By-law Amendments propose to rezone the Subject Lands into appropriate residential mixed use zone categories to facilitate future development, with the exception of the natural environment system which is to be zoned for protection.
- The zones include primarily Mixed Density Residential, and Environmental Policy Area 1 zones, but also include two Commercial zones.

Approach to Holding Provisions

No development will be permitted to proceed until after detailed review and approval of plans of subdivision/condominium and/or site plans in accordance with the Planning Act and in conformity with the new Official Plan including secondary plans. It is through this process that the Town's objectives such as provision of affordable housing and walkable communities will be achieved.

Each by-law contains holding provisions which prohibit development until the Town's new Official Plan is approved and, where applicable, confirmation of clearance from the Ministry of Transportation with regards to the GTA West Corridor / Highway 413 alignment has been received. In addition, servicing must be available.



Holding Provisions under Consideration

Further consideration is being given to clarifying the holding provisions based on feedback received including specifying the following:

- Secondary planning and other planning approvals
- Availability of servicing
- Necessary permits from Conservation Authorities
- Additional clearances from relevant provincial authorities

Issues

- Planning process followed
- Secondary planning concurrent to or following zoning
- Ensuring good planning and creation of complete communities
- Environmental reviews
- Affordable housing provision
- Selection of development areas
- Anticipated build-out
- Alignment with servicing provision
- Growth financing mechanisms
- Opportunities for future public engagement



Planning Process: Next Steps



What Are The Next Steps?



Mayor Direction Under Municipal Act

March 26, 2024



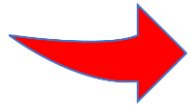
Notice of Public Meeting

April 4, 2024



Circulation to Departments & Agencies

April 4, 2024



Public Information Meeting

April 25, 2024



Collect & Review Public, Technical other Comments

April 2024



Report and Council Decision

April 30, 2024



Appeal Period

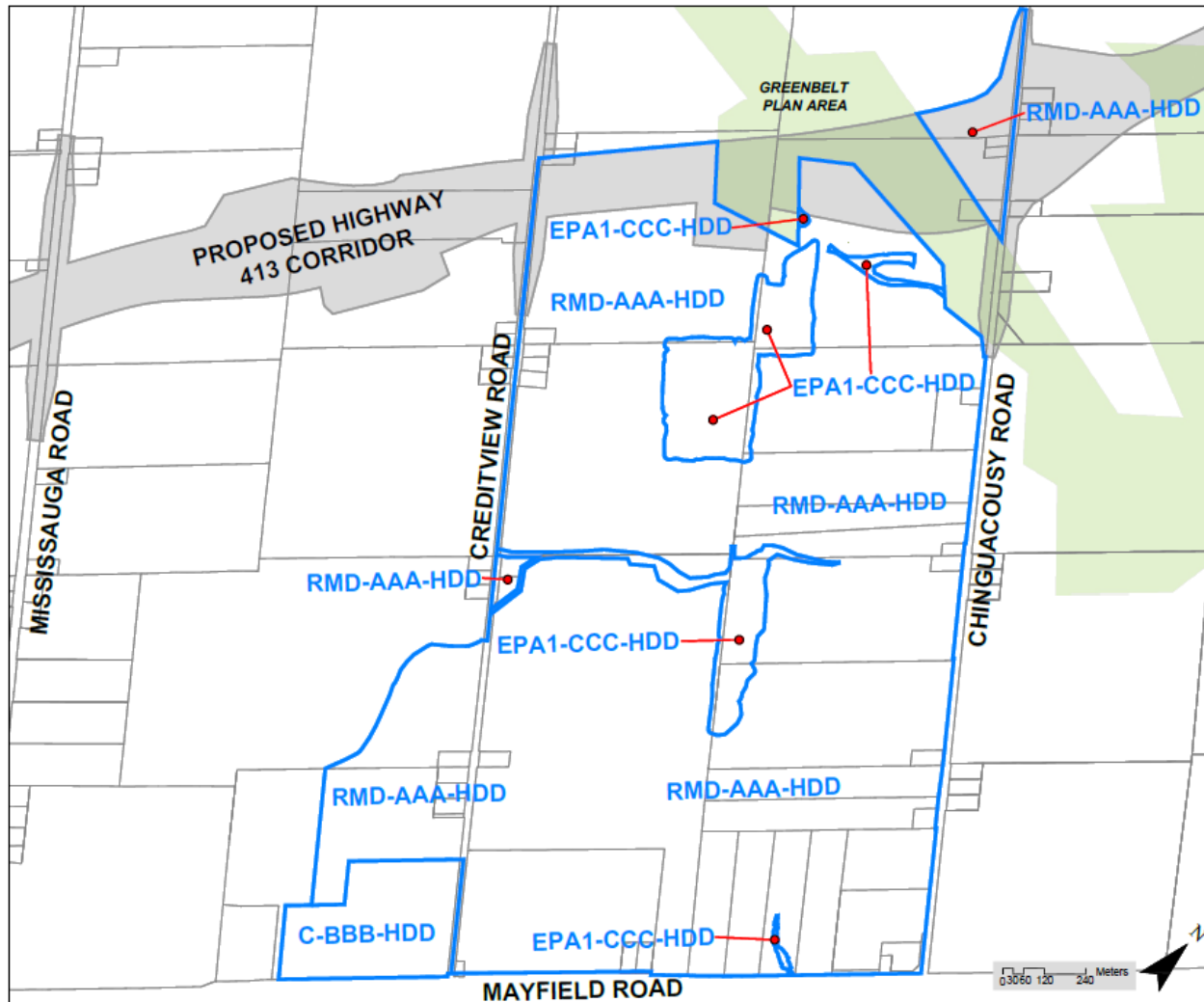
Area A1

Area A1: Proposed Approach

- A Pre-Application Review Committee (PARC) meeting has been held regarding a proposed plan for the Subject Lands.
- A Secondary Plan submission is being finalized following the PARC meeting.
- The proposed Zoning By-law Amendment provides regulations to implement residential mixed use and commercial land uses. The Natural Environment System (NES) is protected through an Environmental Policy Area (EPA) Zone.



A1: Proposed Zoning



Schedule A By-law 2024-__

Part of Lots 18,19,20,21 & 22
Concessions 3 & 4,
(Township of Chinguacousy)
Town of Caledon
Regional Municipality of Peel

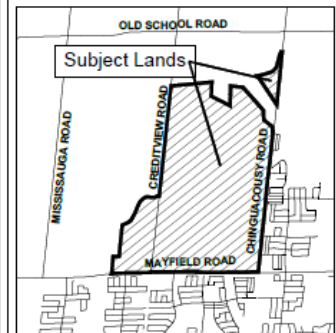
Legend



Note

The "Environmental Policy Area 1 - Exception CCC" (EPA1-CCC) zone shown on Schedule "A" to this By-law is conceptual only and shall be further refined through the subdivision or site plan process (as applicable).

Key Map



Date: April 19, 2024

File:

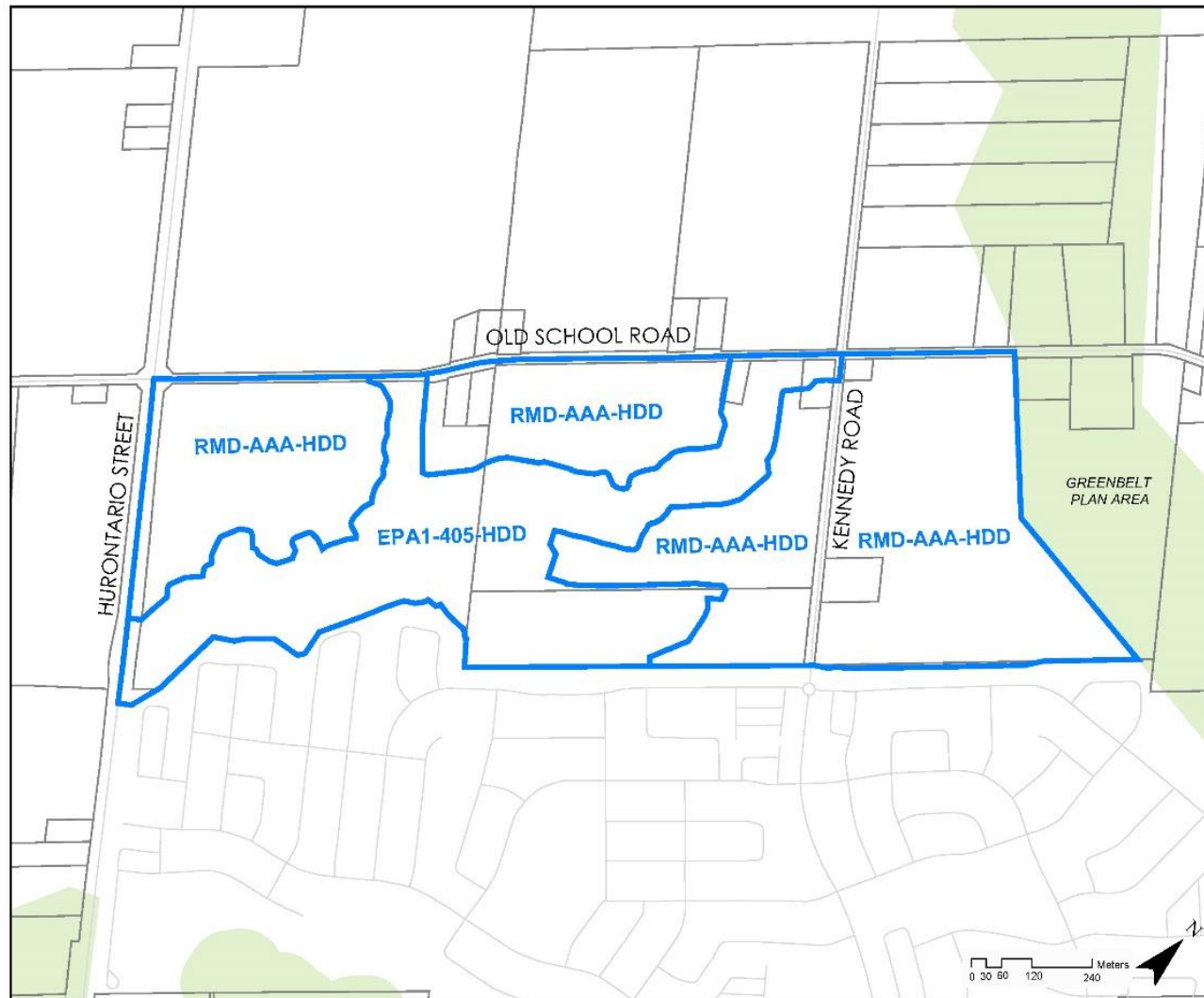
Area A2

Area A2: Proposed Approach

- Applications for a secondary plan, draft plan of subdivision and rezoning are currently under appeal to the Ontario Land Tribunal (OLT).
- The Town is working towards a settlement of these matters with which the proposed rezoning will assist.
- The proposed Zoning By-law Amendment provides regulations to implement residential mixed use land uses. The NES is protected through an EPA Zone.




A2: Proposed Zoning



Schedule A By-law 2024-__

Part of Lots 21 & 22,
Concessions 1 & 2, E.H.S.
(Township of Chinguacousy)
Town of Caledon
Regional Municipality of Peel

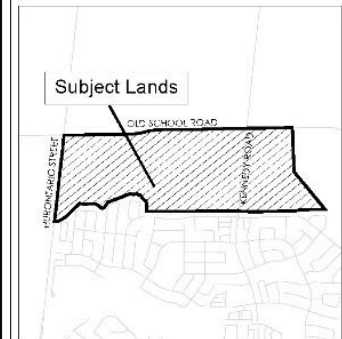
Legend

 Lands to be rezoned to the zones identified on this Schedule

Note

The "Environmental Policy Area 1 - Exception 405" (EPA1-405) zone shown on Schedule "A" to this By-law is conceptual only and shall be further refined through the subdivision or site plan process (as applicable).

Key Map



Date: April 15, 2024

File:

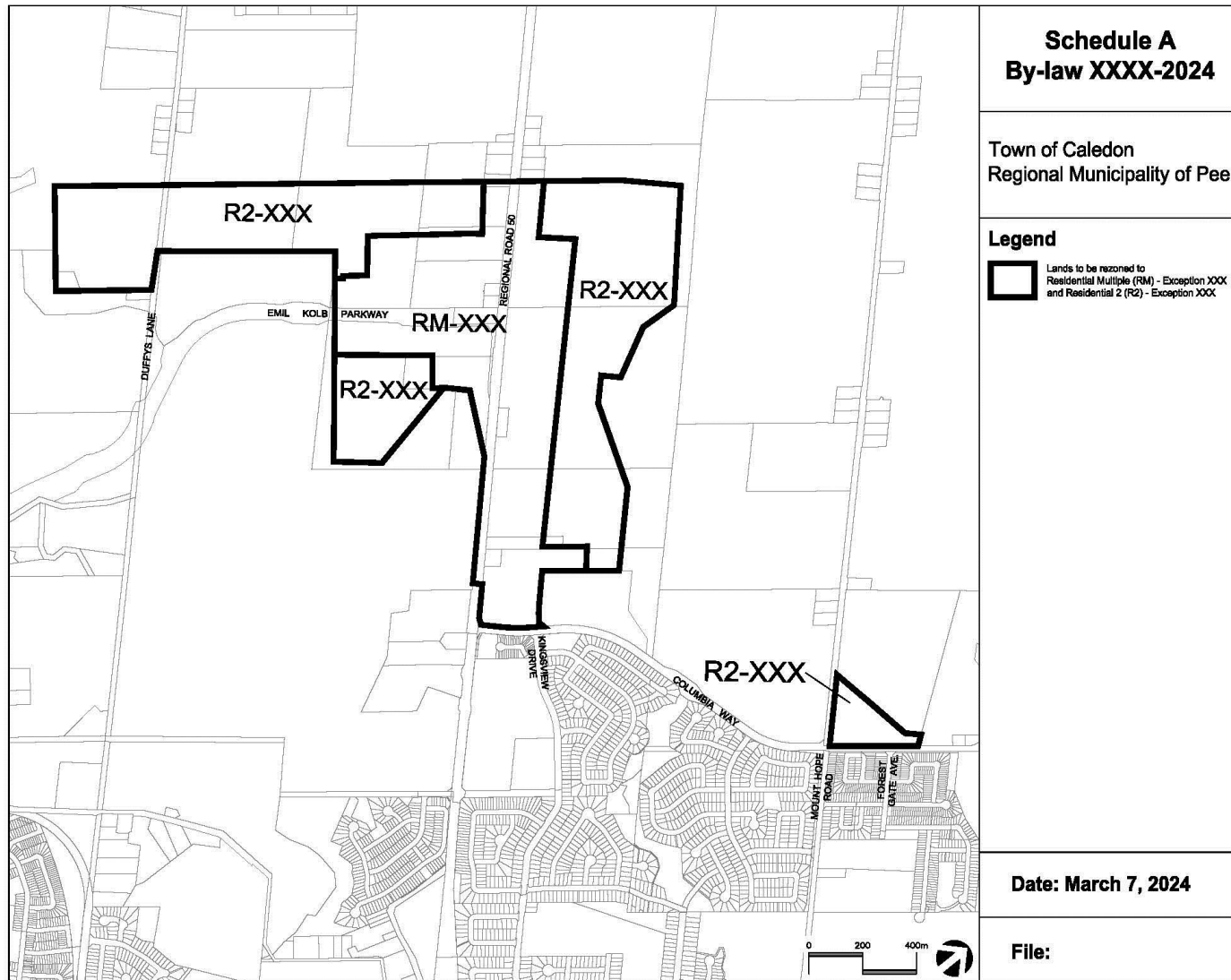
Area A3

Area A3: Proposed Approach

- An application for a secondary plan was deemed complete by the Town.
- A Design Charrette has been held as a basis for a resubmission.
- The proposed Zoning By-law Amendment provides regulations to implement residential and residential mixed use land uses.



A3: Proposed Zoning



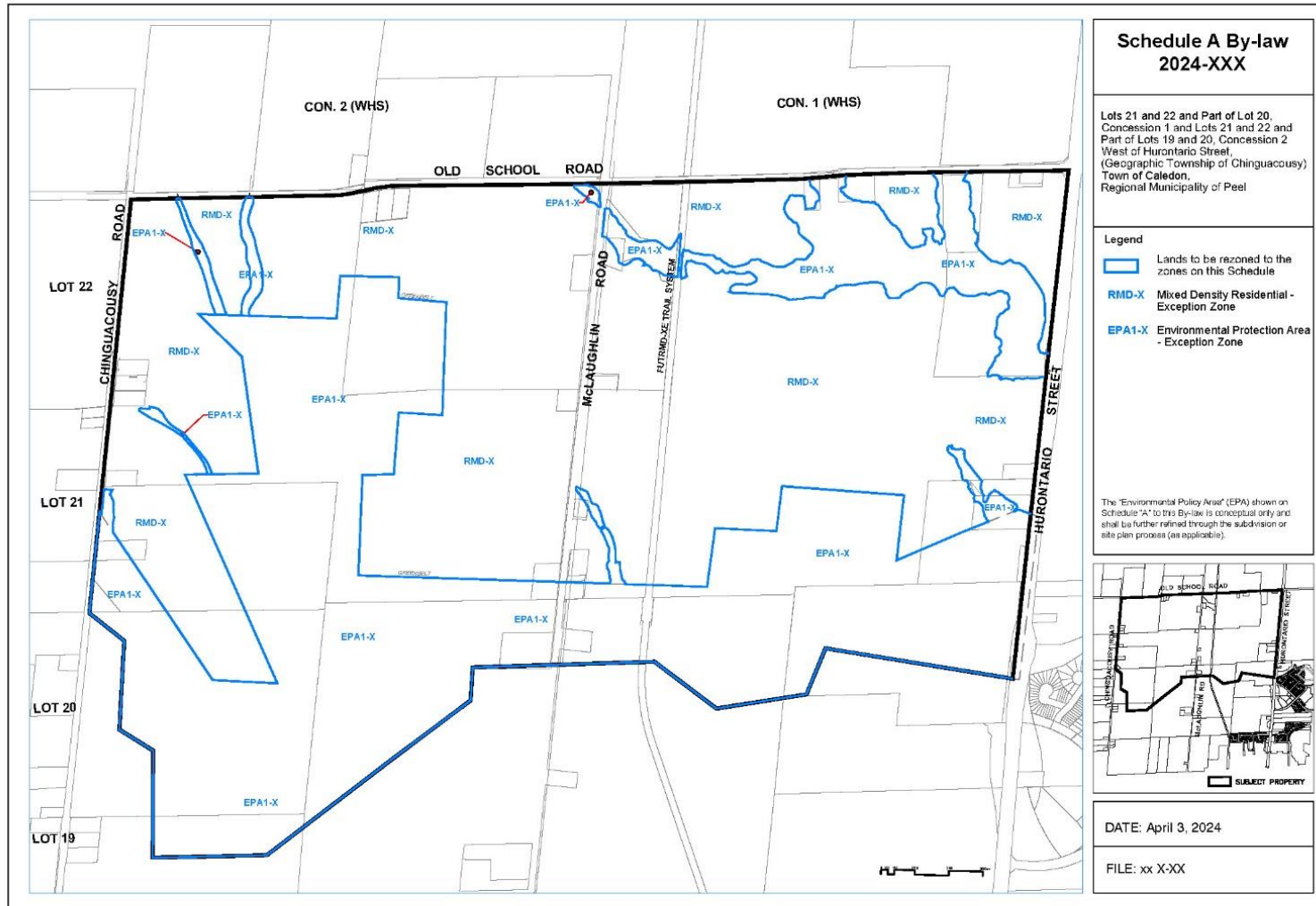
Area A4

Area A4: Proposed Approach

- An application for a secondary plan was deemed complete by the Town and the application is under review.
- A public meeting, as well as a comment review meeting, have been held.
- A PARC for the draft plan and rezoning for lands within the secondary plan area has been held.
- The proposed Zoning By-law Amendment provides regulations to implement residential mixed use land uses. The NES is protected through an EPA Zone.



A4: Proposed Zoning



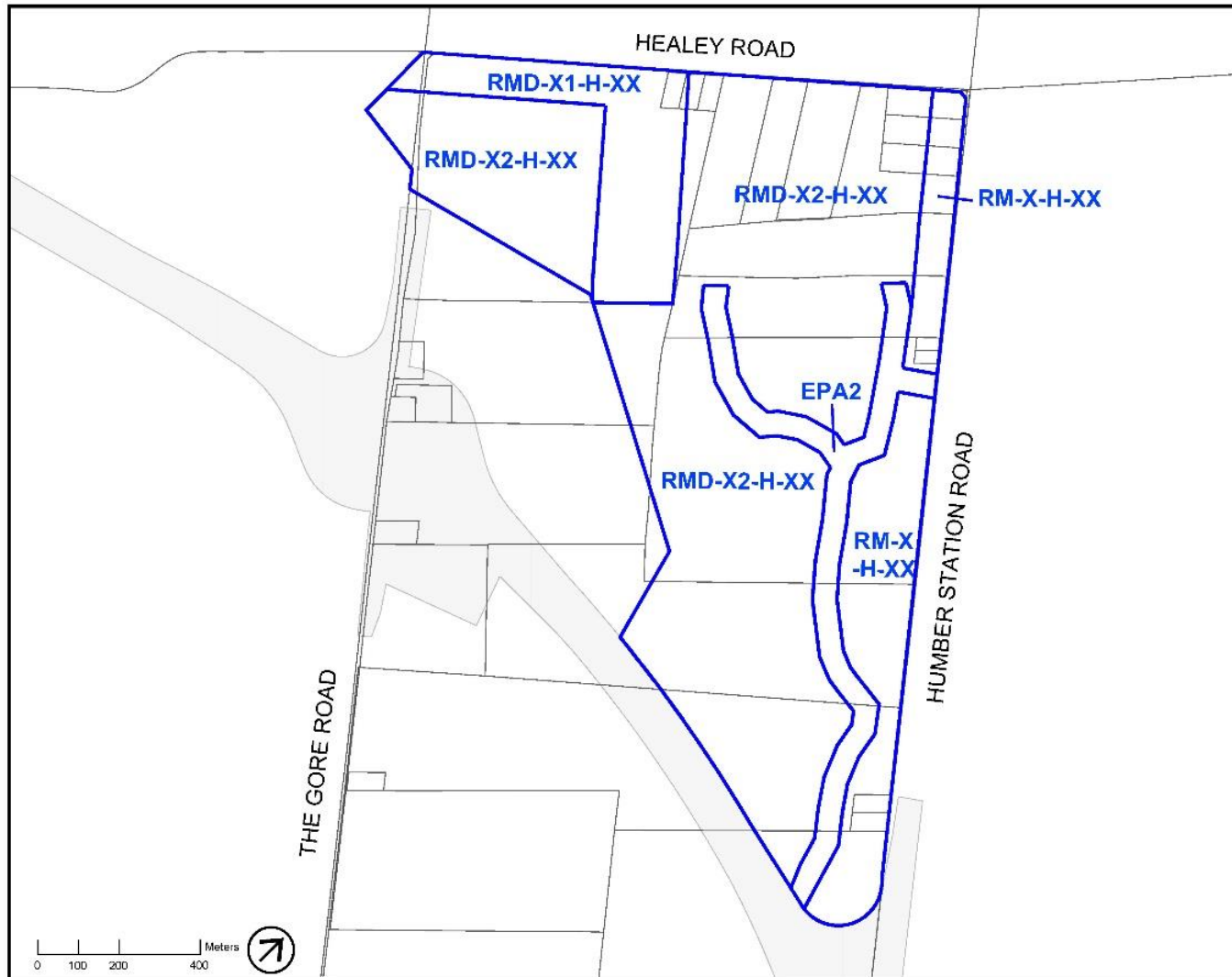
Area A5

Area A5: Proposed Approach

- A PARC submission has been made for a Secondary Plan.
- The proposed Zoning By-law Amendment provides regulations to implement residential mixed use land uses. The NES is protected through an EPA Zone.



A5: Proposed Zoning



Schedule A By-law 2024-XXX

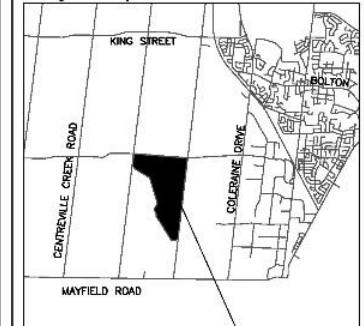
Lands bound by Healey Road to the north, Humber Station Road to the east, Mayfield Road to the south and The Gore Road, and the Greenbelt Plan to the west.

Legend

- Lands to be rezoned to the zones identified on this Schedule
- Proposed Highway 413 Overlay

The "Environmental Policy Area" (EPA) shown on Schedule "A" to this By-law is conceptual only and shall be further refined through the subdivision or site plan process (as applicable).

Key Map



SUBJECT LANDS

Date: April 12, 2024

File: XXX

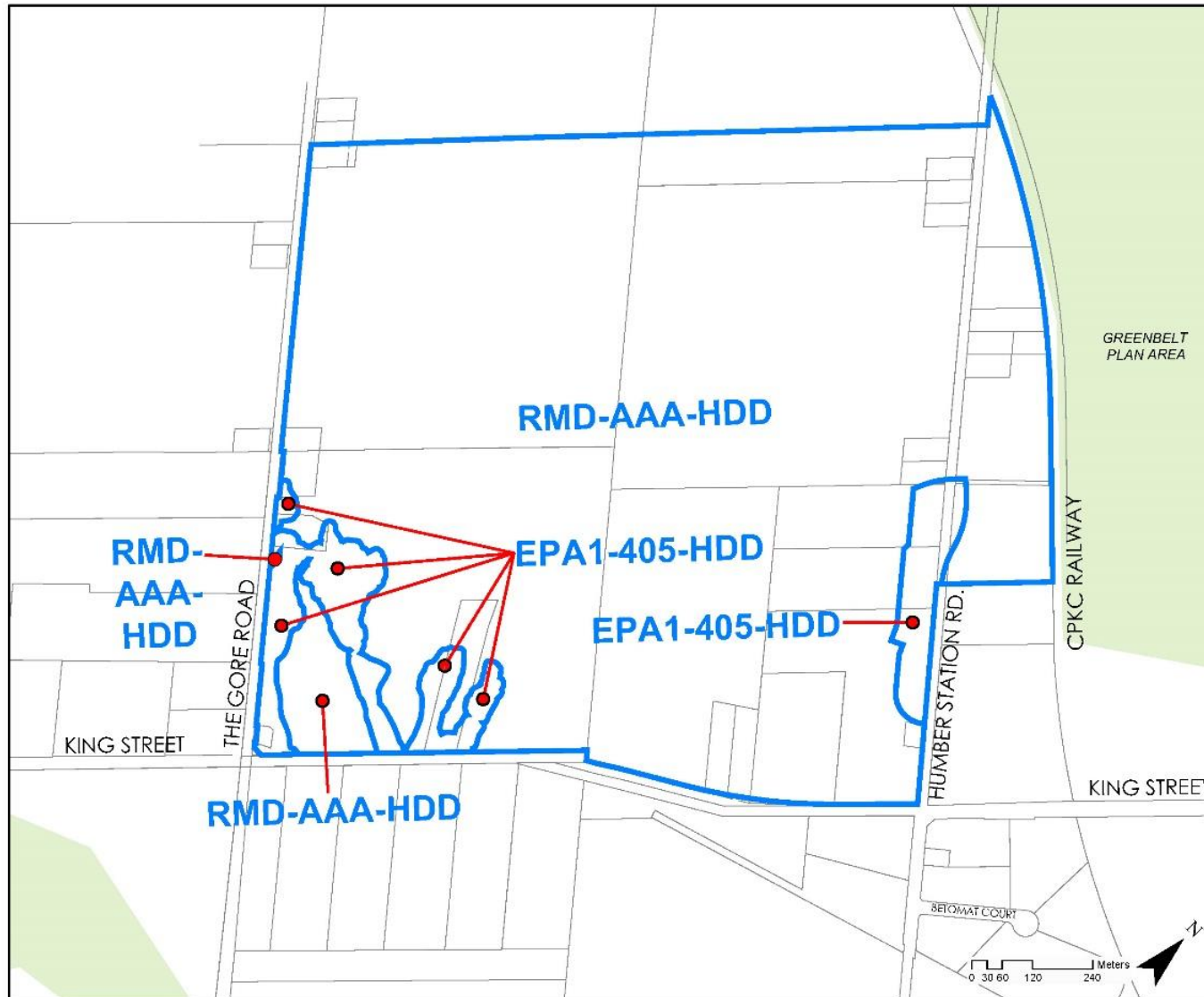
Area A6

Area A6: Proposed Approach

- Applications for a secondary plan, draft plan of subdivision and rezoning are currently under appeal. A settlement has been reached with the Town, although there is an unresolved matter with the Region.
- The proposed Zoning By-law Amendment provides regulations to implement residential mixed use land uses. The NES is protected through an EPA Zone.




A6: Proposed Zoning



Schedule A By-law 2024-__

Part of Lots 11, 12 & 13,
Concessions 4 & 5,
(Township of Albion)
Town of Caledon
Regional Municipality of Peel

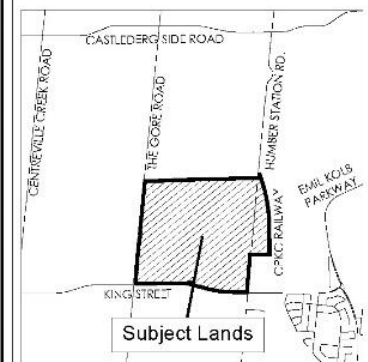
Legend

 Lands to be rezoned to the zones
identified on this Schedule

Note

The "Environmental Policy Area 1 - Exception 405" (EPA1-405) zone shown on Schedule "A" to this By-law is conceptual only and shall be further refined through the subdivision or site plan process (as applicable).

Key Map



Date: April 8, 2024

File:

Area A7

Area A7: Proposed Approach

- PARC meetings have been held for a zoning by-law amendment and draft plan of subdivision. A landowners group has been formed and a PARC application is to be made for a secondary plan.
- The proposed Zoning By-law Amendment provides regulations to implement residential mixed use land uses. The NES is protected through an EPA Zone.



A7: Proposed Zoning



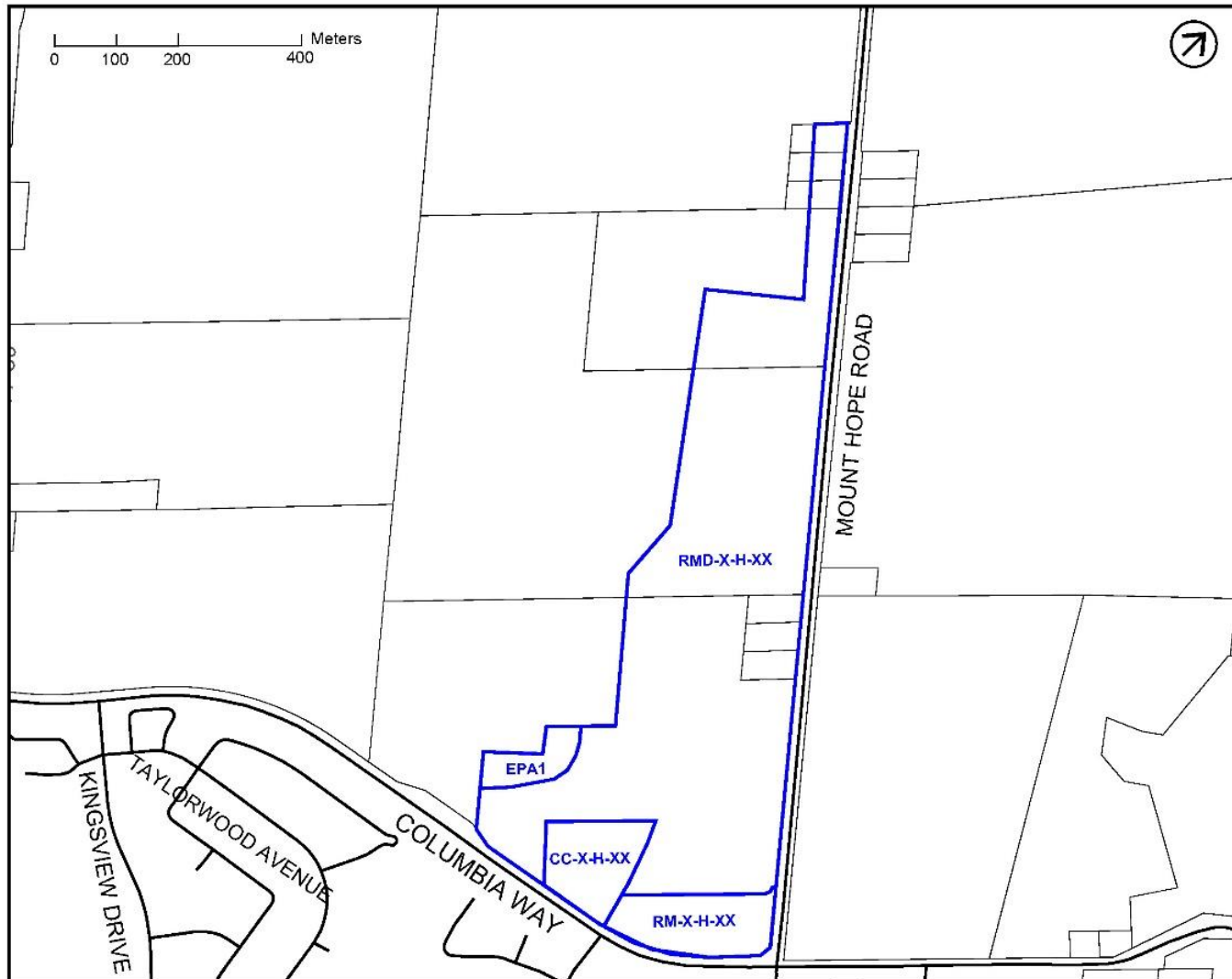
Area A8

Area A8: Proposed Approach

- PARC meetings have been held for a secondary plan, zoning by-law amendment and draft plan of subdivision.
- The applicant is preparing terms of reference for a secondary plan submission.
- The proposed Zoning By-law Amendment provides regulations to implement residential, residential mixed use and commercial land uses. The NES is protected through an EPA Zone.




A8: Proposed Zoning



Schedule A By-law 2024-XXX

Part 1 Plan 43R-37026, Part 1 Plan 43R-37027, Part 1 Plan 43R 4880, Part 1 Plan 43R-18117, Parts 1, 2, 3 & 4 on Plan 43R-17592 and Parts 1 & 2 on Plan 43R-22592, Parts 1, 2 & 3 on Plan 43R-7218, Parts 4 & 5 on Plan 43R- 7218
Town of Caledon, Regional Municipality of Peel.

Legend

 Lands to be rezoned to the zones identified on this Schedule

The "Environmental Policy Area" (EPA) shown on Schedule "A" to this By-law is conceptual only and shall be further refined through the subdivision or site plan process (as applicable).

Key Map



Date: April 12, 2024

File: XXX

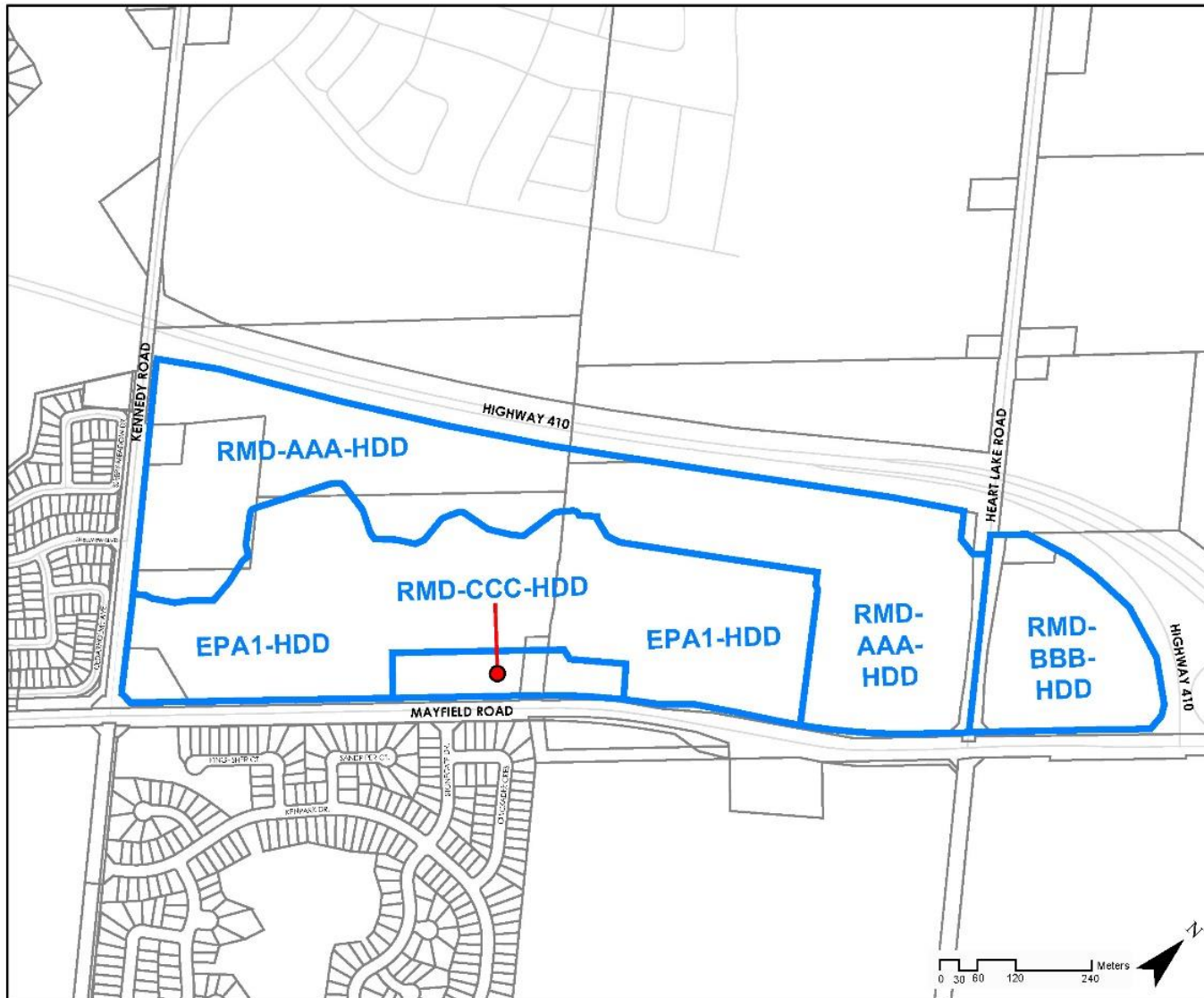
Area A9

Area A9: Proposed Approach

- An application for a secondary plan has been deemed complete.
- The resubmission has been made, based on input from a public meeting and Design Charrette and is under review.
- The proposed Zoning By-law Amendment provides regulations to implement residential mixed use land uses. The NES is protected through an EPA Zone.



A9: Proposed Zoning



Schedule A By-law 2024-__

Part of Lot 18,
Concessions 2 & 3, E.H.S.
(Township of Chinguacousy)
Town of Caledon
Regional Municipality of Peel

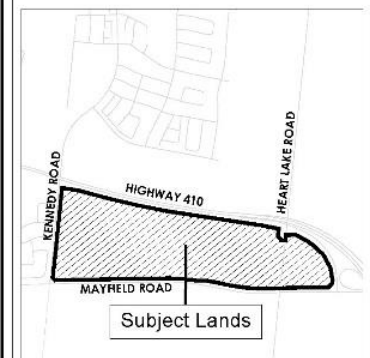
Legend

Lands to be rezoned to the zones identified on this Schedule

Note

The "Environmental Policy Area 1" (EPA1) zone shown on Schedule "A" to this By-law is conceptual only and shall be further refined through the subdivision or site plan process (as applicable).

Key Map



Date: April 8, 2024

File:

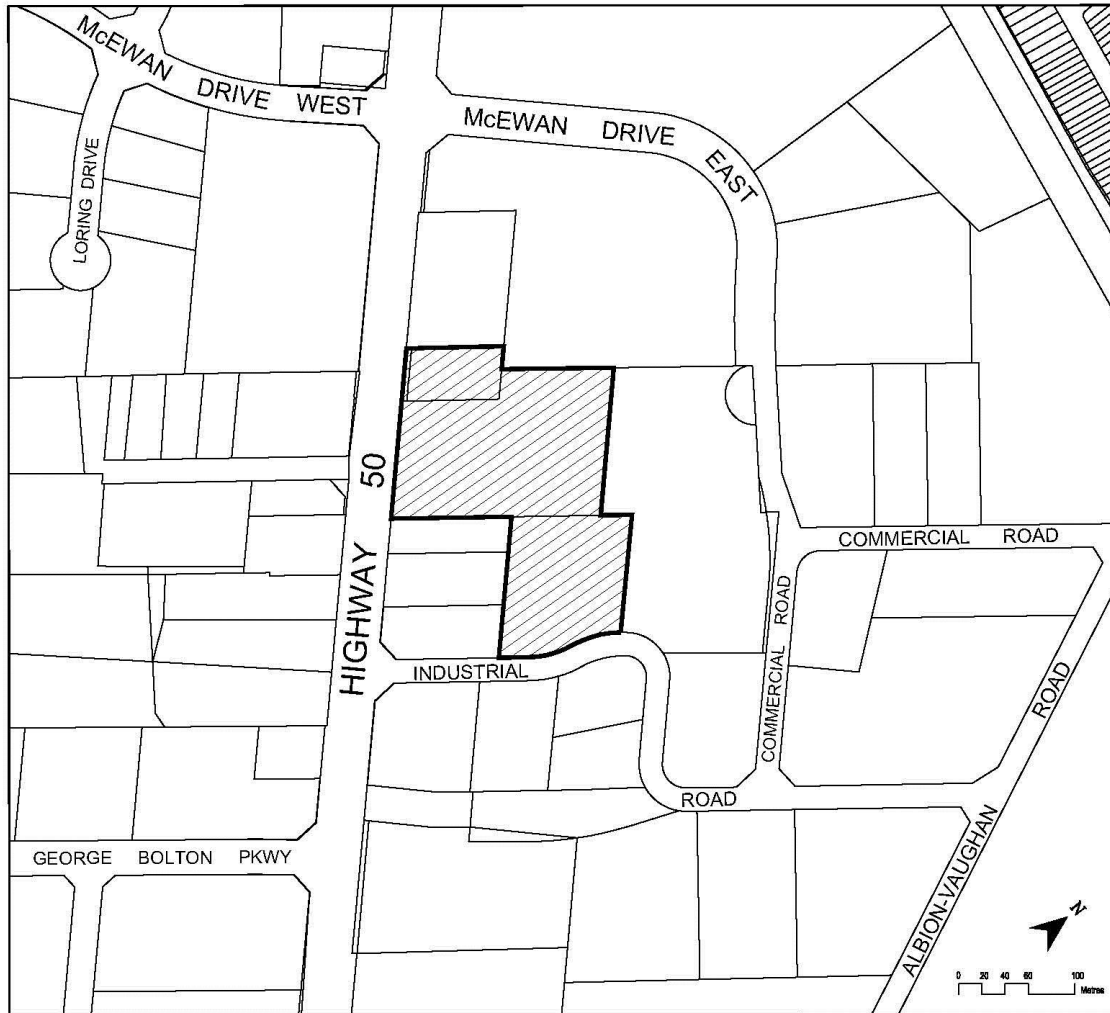
Area A10

Area A10: Proposed Approach

- A Pre-Consultation Meeting was held for official plan and zoning by-law amendments, a site plan and a draft plan of condominium.
- Applications for official plan and zoning by-law amendments were submitted and deemed complete by the Town.
- The public meeting was held and comments provided to the applicant.
- A resubmission is anticipated shortly.
- The proposed Zoning By-law Amendment provides regulations to implement residential mixed use land uses. The NES is protected through an EPA Zone.




A10: Proposed Zoning



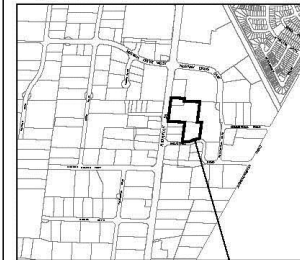
Schedule "A"
By-Law 2024-XXX

12583 and 12599 Highway 50
and 2 Industrial Road
Part of Lots 3 and 4, Concession 7
Town of Caledon
Regional Municipality of Peel

LEGEND

 Lands to be rezoned to the zones
identified on this Schedule

Key Map



Subject Lands

Date: March 15, 2024

RZ 2021-0008

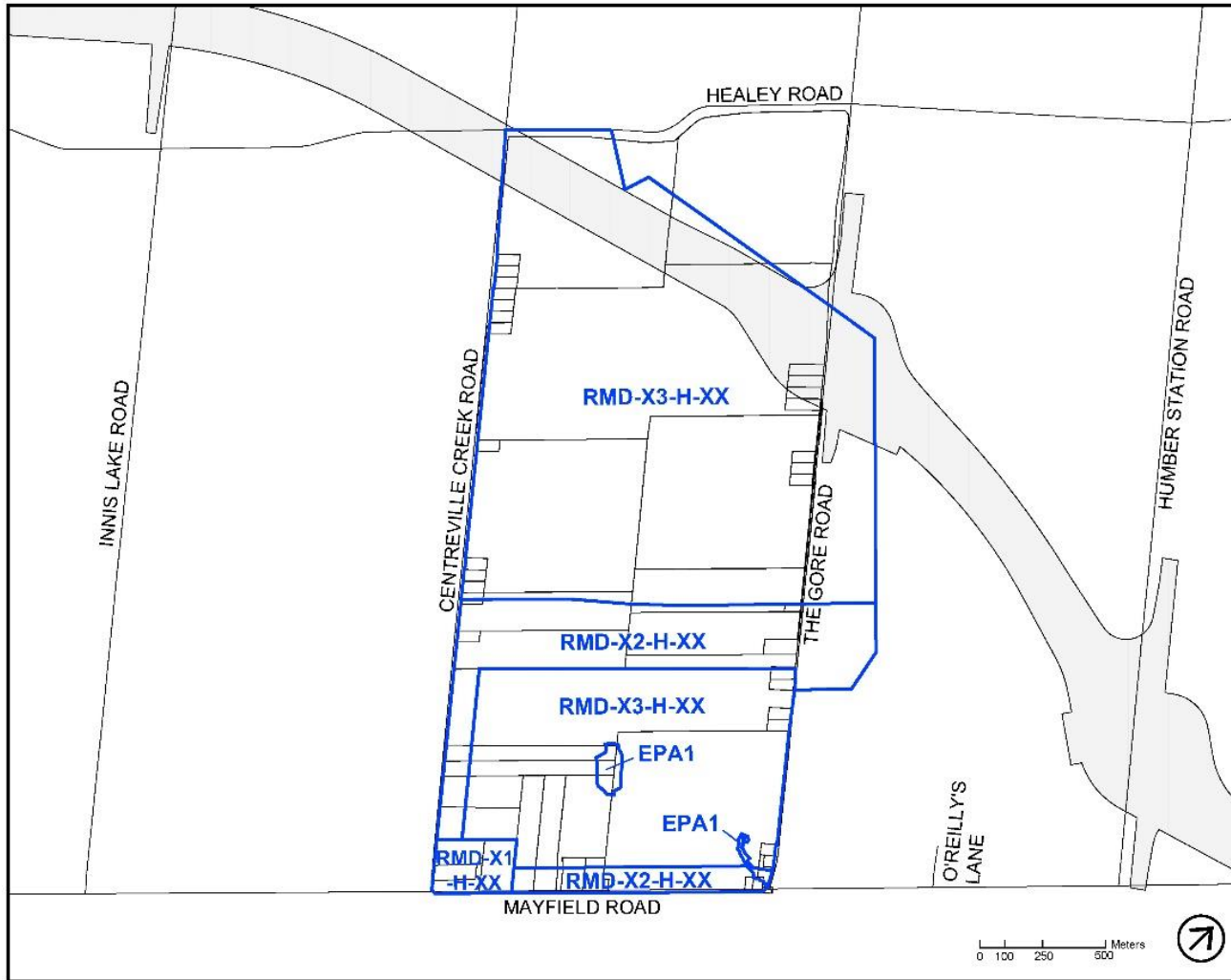
Area A11

Area A11: Proposed Approach

- A PARC has been held for a secondary plan.
- The applicant is preparing terms of reference for a secondary plan submission.
- The proposed Zoning By-law Amendment provides regulations to implement residential mixed use land uses. The NES is protected through an EPA Zone.





A11: Proposed Zoning



Schedule A By-law 2024-XXX

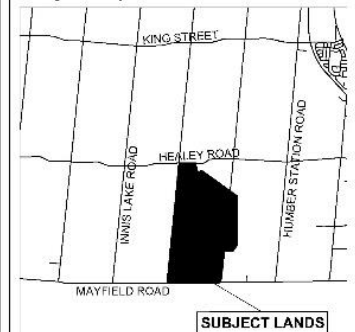
Lands bound by Mayfield Road to the south, Healey Road and the Greenbelt Plan to the north, Centreville Creek Road to the west and the Greenbelt Plan and The Gore Road to the east.

Legend

-  Lands to be rezoned to the zones identified on this Schedule
-  Proposed Highway 413 Overlay

The "Environmental Policy Area" (EPA) shown on Schedule "A" to this By-law is conceptual only and shall be further refined through the subdivision or site plan process (as applicable).

Key Map



Date: April 12, 2024

File: XXX

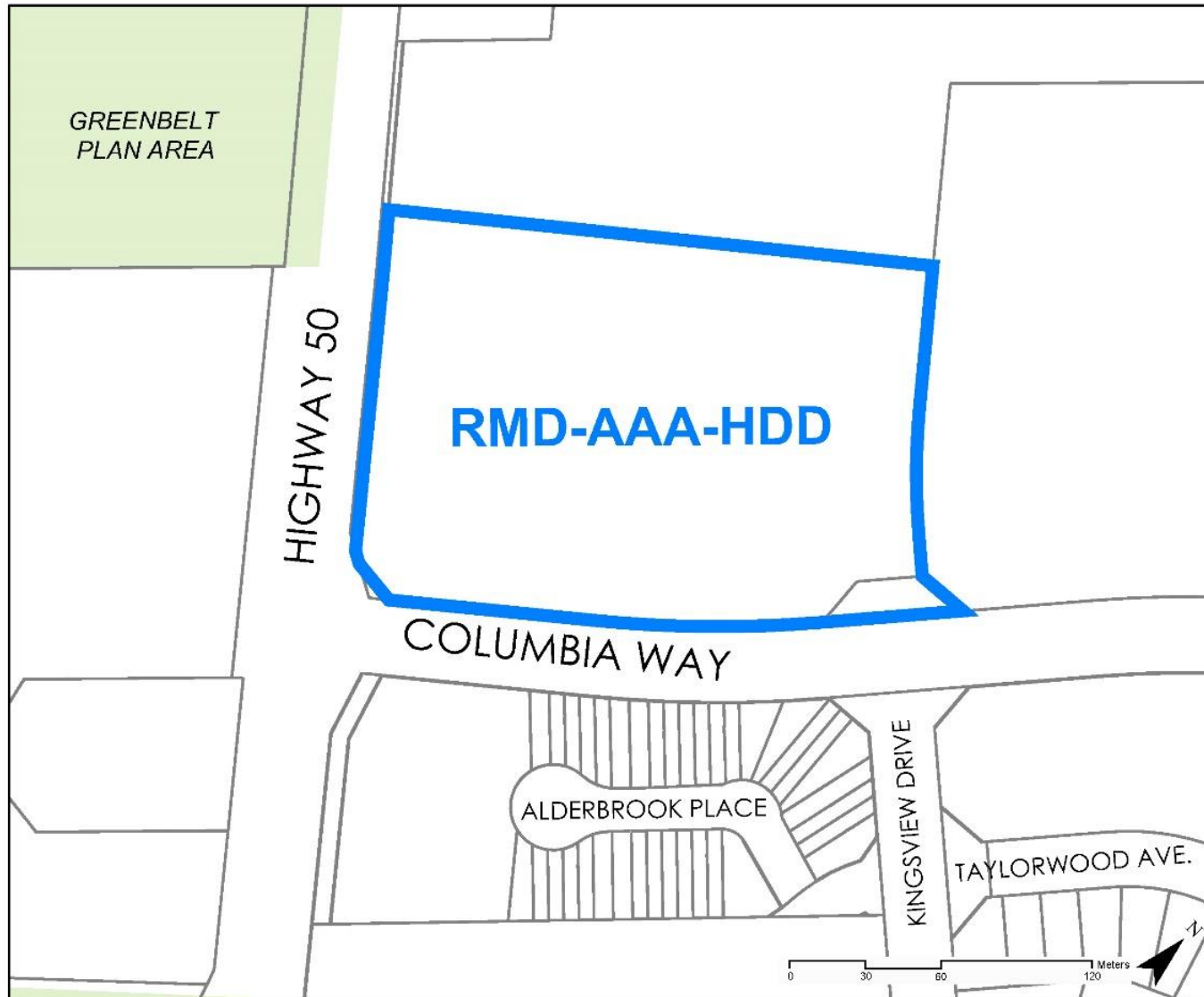
Area A12

Area A12: Proposed Approach

- Applications for official plan and zoning by-law amendments were deemed complete by the Town.
- The lands are currently designated for commercial uses and are proposed for re-designation to “Mixed Use”.
- A public meeting has been held.
- The proposed Zoning By-law Amendment provides regulations to implement residential mixed use land uses.




A12: Proposed Zoning



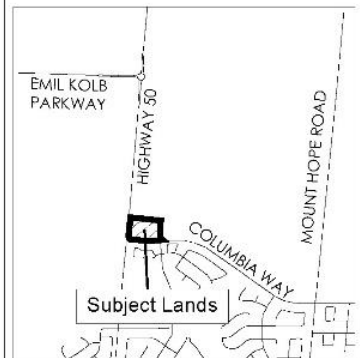
Schedule A By-law 2024-__

Part of Lots 11 & 12,
Concession 7,
(Township of Albion)
Town of Caledon
Regional Municipality of Peel

Legend

-  Lands to be rezoned to the zones
identified on this Schedule

Key Map



Date: March 22, 2024

File:

Thank You

